

TOWN OF SCHERERVILLE BUILDING PERMIT REQUIREMENTS

- 1) COMPLETED ZONING/BUILDING APPLICATION
- 2) APPLICATION FEE
- 3) TWO (2) PLATS OF SURVEY*** (8 ½" x 14" MAXIMUM SIZE, UNREDUCED
 - a. At least one original
- 4) TWO SETS OF BUILDING PLANS
 - a. One returned and stamped when permit issued
- 5) COMPLETE LIST OF CONTRACTORS AND SUB-CONTRACTORS
- 6) COPY OF STATE RELEASE PAPERWORK FOR COMMERCIAL PROJECTS WHEN APPLICABLE.
- 7) ENERGY CONSERVATION CODE REPORT

***THE FOLLOWING LIST DETAILS THE REQUIREMENTS WHICH MUST APPEAR ON ALL **PLATS OF SURVEY (MUST USE U.S.G.S.) AND AS BUILTS** SUBMITTED TO THIS OFFICE AS SET FORTH IN ORDINANCE #1095, SUBDIVISION CONTROL ORDINANCE, OF THE TOWN OF SCHERERVILLE:

- 1) **LEGAL DESCRIPTION** OF PROPERTY BEING SURVEYED.
- 2) **FLOOD ZONE DESIGNATION** OF THE PROPERTY BEING SURVEYED.
- 3) CALCULATED DISTANCES AND BEARINGS OF **LOT SIZES** WITH TOTAL SQUARE FOOTAGE, UTILITY EASEMENTS, STREETS, ALLEYS, SIDEWALKS, BUILDING SET-BACK LINES, BOTH SIDE YARDS AND REAR YARDS, WIDTH OF LOTS AT BUILDING SET-BACK LINE, AND LOT GRADES.
- 4) **LOT NUMBER, STREET NAMES, AND LOT ADDRESSES.**
- 5) **ELEVATIONS:**
 - a. ENTRY WAY
 - b. MAIN FLOOR
 - c. TOP OF FOUNDATION GRADE
 - d. GROUND GRADE AT EACH CORNER OF THE BUILDING
 - e. GROUND GRADE AT THE FOUR (4) LOT CORNERS
 - f. GRADE AT SIDE YARD
 - g. DIRECTION OF OVERLAND DRAINAGE FLOW
 - h. SLOPE OF DRIVEWAY ELEVATION EXPRESSED AS A PERCENTAGE
 - i. ELEVATIONS OF ADJACENT PROPERTIES INCLUDING TOP OF FOUNDATION GRADES, PROPOSED FINISHED GRADES AT EACH LOT CORNER AND BUILDING CORNER, DIRECTION OF OVERLAND DRAINAGE FLOW, AND RIM GRADES FOR ALL YARD DRAINS.
- 6) **CORNER LOT ADA SIDEWALK CUTS.**
- 7) LOCATION OF **DECKS, FENCES, ACCESSORY STRUCTURES, AND POOLS, ETC.**
- 8) SPECIFICATION OF **EASEMENTS (UTILITY, DRAINAGE, OR BOTH).**



TOWN OF SCHERERVILLE
 10 E. JOLIET ST.
 SCHERERVILLE, IN 46375
 PHONE 219-322-2211 / FAX 219-865-5504

Received By: _____
 Date: _____

BUILDING AND ZONING APPLICATION

JOB SITE INFORMATION

Address _____ Lot # _____ Property # _____
 Subdivision _____ Zoning District _____ Flood Zone Designation _____

DESCRIPTION OF WORK

GENERAL CONTRACTOR INFORMATION

Contractor Name _____ Address _____
 Contact Name & Phone _____ City/St/Zip _____
 Email _____

PROPERTY OWNER INFORMATION

Name _____ Phone _____
 Address _____ City/St/Zip _____
 Email: _____ Business Name (If commercial job) _____

NEW CONSTRUCTION ONLY TOTAL COST \$ _____

- Residential Commercial Remodel/Addition Other _____ RESTAURANT _____ (# OF SEATS)
- Single Family Duplex Multi-Unit Total Sq. Ft. _____ Percentage of Brick _____ Total Height of Structure _____
- 1 STORY 2 STORY Bi-Level Tri-Level Quad Other
- Slab Crawl Space Sq. Ft. of Sidewalk & Walkway _____ Sq. Ft. of Driveway _____ Number of Baths full _____ half _____
- Garage 2-Car 3-Car 4-Car Attached Detached Sq. Ft. of Garage _____ Door Height _____
- Fireplace pre-fab masonry Basement walk-out look-out Percent of Basement % finished _____ % unfinished _____

DEBRIS DISPOSAL PLAN : Dumpster _____ Other _____

NOTE: The Town Dump is NOT for construction debris

STATE CONSTRUCTION DESIGN RELEASE (COMMERCIAL PROJECTS) NEEDED EXEMPT
 I UNDERSTAND THAT I MUST COMPLY WITH SOIL EROSION CONTROL AND THAT IT WILL BE STRICTLY ENFORCED.

ELECTRICAL TAPPING

_____ amp electrical service _____ temporary pole Water Meter Size: 3/4" 1" Other _____
 _____ wire _____ phase _____ # of new panels Water Meter Location _____
 _____ misc. (pool, remodel, addition, etc.)

PLUMBING FIXTURES (Please enter number of each NEW fixture)

_____ kitchen sink	_____ toilets	_____ laundry tubs	_____ ejector pit	_____ outside water spigots
_____ garbage disposal	_____ urinals	_____ washer hook-up	_____ grease trap	_____ water fountain
_____ dish washer	_____ bath tubs	_____ water heater	_____ floor drain	_____ check valve
_____ bathroom sinks	_____ shower heads	_____ sump pump	_____ garage drain	_____ other

TOTAL FIXTURE COUNT _____

MECHANICAL LAWN SPRINKLING FIRE SPRINKLING SOLAR PANELS

_____ # of air conditioning units _____ # of rooftop units _____ # of sprinkling heads _____ # of sprinkling heads Proposed _____ sq. ft.
 _____ # of furnace units _____ # of hood systems _____ Max Tilt Height _____

DECK _____ sq. ft. PATIO _____ sq. ft. COVERED PORCH _____ sq. ft. SHED _____ sq. ft. FENCE _____ lin. ft. _____ height

GAZEBO _____ sq. ft. POOL _____ size Aboveground In-Ground Install Date _____

TOTAL COST \$ _____

STORAGE PODS, PORTABLE STORAGE

(In Detail: Indicate what will be stored in container)

DEMOLITION _____ sq.ft.

(Property Owner Permission must be attached and Public Works must be contacted for removal of water meter – 322-6688)
 NOTE: MUST SUBMIT IDEM REPORT IF APPLICABLE

SIGNAGE

Proposed _____ sq.ft. Proposed Height of Sign _____ Wall-Mounted Signage (Projection from building fascia) _____
 Free-Standing Fascia Illuminated On Premise Off Premise Existing square footage of signage _____
 Linear feet of building frontage of tenant space occupied _____ COST OF SIGN & INSTALLATION \$ _____

NO WORK IS TO BE STARTED WITHOUT BENEFIT OF A PERMIT DISPLAYED AT JOB SITE.

Applicant Signature _____ Print _____

Approved By: _____
 Date: _____

LIST OF SUB-CONTRACTORS

CONSTRUCTION ADDRESS _____

Full Company Name/Owner Name	Address	Lic. Bond Ins. WC
GENERAL	_____	_____
CARPENTER	_____	_____
ELECTRICIAN	_____	_____
PLUMBING	_____	_____
HVAC	_____	_____
INSULATOR	_____	_____
FLOORING	_____	_____
CONCRETE	_____	_____
EXCAVATOR	_____	_____
SEWER/WATER	_____	_____
DRYWALL	_____	_____
PAINTER	_____	_____
ROOFER	_____	_____
GUTTER/SOFFIT/FASCIA	_____	_____
MASONRY	_____	_____
SIDING	_____	_____
LANDSCAPER	_____	_____
PARKING LOT/ASPHALT	_____	_____
SPECIALTY	_____	_____
	_____	_____

(*i.e. customized staircase contractors, closet designers, etc., also for commercial – fire sprinkling contractors, paving contractors, elevator installers, window installers, etc.)

Debris Disposal Plan: Dumpster _____ Other _____

ANY AND ALL CHANGES TO THE ABOVE LIST MUST BE CALLED IN BY THE GENERAL CONTRACTOR DURING THE COURSE OF CONSTRUCTION

Signature _____ Date _____

Printed Name _____

Town of Schererville

BUILDING INSPECTIONS

*******PERMITS MUST BE POSTED ON SITE*******

NOTE: Please call in inspections to 322-2211 ext. 4, Planning & Building Dept. or ext. 1322 for Lindsay 24 HOURS IN ADVANCE and NO LATER than 3:30 to be on the schedule for the following day. You MUST speak to office staff for confirmation. *PLEASE DO NOT LEAVE INSPECTION REQUESTS ON VOICE MAIL.*****

NOTE: INSPECTIONS FOR ALL JOBS MUST BE CALLED IN BY THE SUB CONTRACTOR DOING THE WORK - AND THE ROUGH / FINAL BUILDING INSPECTIONS WILL NOT BE DONE UNTIL ALL OTHER SUBS CALL IN THEIR INSPECTIONS.

- Copy of plans must be kept on job site
- Keys must be provided, building left open or other provisions made
- Ladders must be provided as needed for inspections
- \$50.00 re-inspection fee due before re-inspect

BUILDING

NOTE: Spacer bar must be installed prior to scheduling Rough Inspections

NOTE: Completion of landscaping is required for Final Occupancy per Town of Schererville Zoning Ordinance #1797

- ___ Footing/Pre-pour
- ___ Wall/Pre-pour
- ___ Foundation before backfill (drain tile)
- ___ Concrete Floor/Pre-pour
- ___ Rough
- ___ Final

PLUMBING

NOTE: Spacer bar must be installed prior to scheduling Rough Inspections

- ___ Underground
- ___ Rough (before drywall)
- ___ Final (water must be on)

ELECTRICAL

NOTE: Roughts & Service can be done together

- ___ Temporary Pole
- ___ Underground (when conduit is under concrete floor)
- ___ Rough (before drywall)
- ___ Service (not allowed for romex before completion)
- ___ Final (power must be on)

MECHANICAL

- ___ Rough (before drywall)
- ___ Final

WATER & SEWER TAP INSPECTIONS AND LOCATES NEED TO BE CALLED INTO THE PUBLIC WORKS DEPARTMENT AT 322-6688 OR 322-5486 *OTHER UTILITIES & LOCATIONS CALL 811*

SIGNATURE:

DATE:

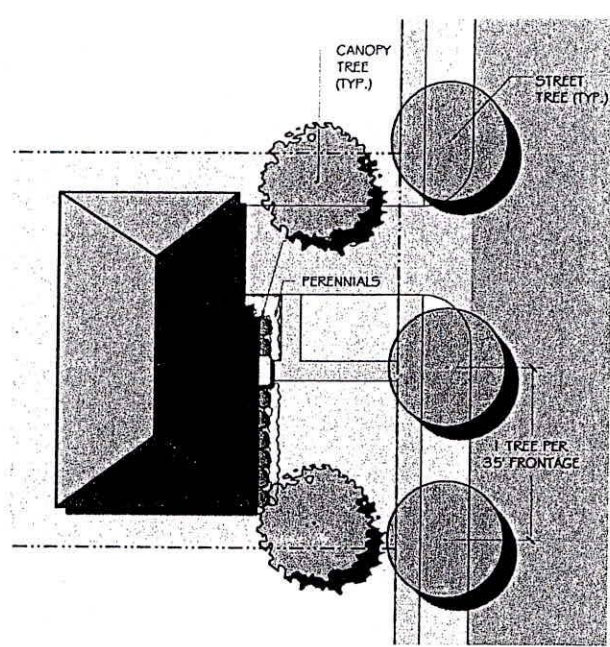


Exhibit 23 - Prototype for front yard landscaping in residential districts

E. Front Yard Landscaping

(1) All developments in all zoning districts shall be required to provide landscaping on front yard or the side yards, if fronting a street, prior to issuance of the occupancy permit.

(2) Residential Uses

i. All front yards (exclusive of driveways and other permitted hard surfaces) are required to be landscaped prior to issuance of an occupancy permit. A temporary occupancy permit for up to one (1) year may be issued according to the provisions of this Ordinance.

ii. In all residential districts, the minimum landscaping acceptable per one thousand (1,000) square feet of the front yard areas is as follows:

- a. One (1) canopy tree.
- b. Four (4) shrubs or accent plants on the front elevation.
- c. The remaining area treated with attractive ground cover(s) (e.g. lawn, perennials, and shrubs) with a deep root system that holds soil and prevents erosion.
- d. Corner lots shall install six (6) shrubs and one (1) tree per side facing a street.

iii. Walls that do not exceed two feet (2') in height may be permitted only when shown as an integral part of a landscape plan. Walls shall be constructed of masonry materials that complement the architecture of the primary building.

iv. An approved landscape plan, meeting the requirements in Sections 2 and 5 of this Title, may be used in lieu of the above standards.

Date

Signature

As required by Ordinance #1797 passed January, 2012, landscaping must be completed prior to occupancy.

When a building permit is applied for any job that requires excavating the general contractor will read and sign the following inspection instructions that must be completed by the time the permit is issued.

Does this project disturb more than an acre of land? Yes ___ No ___ If yes, a Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to both the Town of Schererville and the Indiana Department of Environmental Management (Rule 5 Permit) for approval and followed on the construction site.

Prior to excavation the following is required:

- The construction site shall have erosion control in place, (such as silt fencing, or alternative means of control)
- The construction site shall have a barrier on all catch basins
- The construction site shall have an acceptable washout location for cement trucks
- The construction site shall have a stone drive with vehicle cleaning provisions
- All wetland areas located on the site shall be posted “WETLAND – DO NOT DISTURB”
- A site inspection and approval by Schererville MS4 inspector is required prior to beginning construction excavation, site grading and/or placement of fill materials on the construction site. Call Schererville Public Works at 322-6688 to schedule an inspection.

During construction and until the site is closed:

- The contractor shall perform maintenance inspections of all erosion control measures weekly and after a rainfall of 0.5” or greater and keep documentation of said inspections available for inspection at the request of the MS4 inspector

NON-CONFORMANCE OF ANY OF THE ABOVE ITEMS IS SUBJECT TO STOP WORK ORDER.

Contractor Signature

Date

Town of Schererville Approval Signature

Date



TOWN OF SCHERERVILLE

PLANNING & BUILDING DEPT.

PHONE (219) 322-2217
FAX (219) 865-5504

10 EAST JOLIET STREET • SCHERERVILLE, IN 46375

Date: _____

To: All Developers, Contractors, Sub-contractors and Builders

From: Planning & Building Department – Public Works Department

Re: Construction Site Maintenance Regulations

- Storm Water Management and Erosion Control (Ord. Nos. 694 & 1708)
- Jobsite Housekeeping (Ord. No. 1097)

Ordinance Nos. 694 and 1708 regulate storm water erosion in new developments and all construction sites. Rules and regulations are summarized as follows:

- Any contractor that disturbs topsoil must contain that topsoil within the work site.
- Storm water drainage structures and adjoining land owners must be protected from erosion due to storm water runoff.
- Erosion control measures are required immediately upon disturbing the topsoil.
- Erosion control measures must be kept in place until the construction is completed, sod is installed, or seedlings have rooted and matured to the point that they are capable of holding the soil in place.
- Erosion control measures must be inspected and maintained at least weekly and immediately following any rainfall event.
- Erosion control measures must be placed along the street, public sidewalk and adjoining property lines wherever storm water runoff is likely to occur.
- Any violation of erosion control regulations will result in the job being RED TAGGED and re-inspection fees being assessed. Continued violation will result in STOP WORK ORDERS being placed on the job site as well as a Town Code Violation Citation being issued for each day that the violation continues. Any violation of erosion control regulations that requires clean up by the Public Works Department will be invoiced and billed to the builder on a Time & Materials basis.

Jobsite Housekeeping Rules and Regulations – Ordinance No. 1097:

- All debris is to be removed from the property or placed in a dumpster.
- Dumpsters are to be placed and maintained to prevent wind from blowing trash from them. Whenever necessary, dumpsters should be tarped or otherwise covered.
- All other construction materials stored on site are to be kept in a neat, orderly manner.
- Dumpsters may not be placed in the street or on any public sidewalk.
- Stone, dirt or other materials delivered to the jobsite may not be stored or stockpiled in the street.
- Construction site trash and debris is not allowed to be discarded at the Town's Public Works dumping facilities.

Occupancy permits will not be granted until all citations are cleared through the court and all re-inspection and/or clean-up fees are satisfied.

Any questions regarding these regulations or this letter may be addressed by calling:

Public Works Director, Chad Nondorf – 219-322-6688
Erosion Control Inspector, Ben Cordell – 219-322-6688
Code Enforcement Officer, Sam Decero – 219-322-2211 Ext. 1306
Building Inspector, Bryan Kelly – 219-322-2211 Ext. 1307

SEA 393 DISCLOSURE EFFECTIVE: JULY 1, 2018

In accordance with Senate Enrolled Act No. 393 (SEA 393) Regulations, all Class 2 structures must disclose the types of advanced structural components used in the qualifying property.

Advanced Structural Components Used:

(Please Circle Yes or No and Check Type)

- | | | | |
|--------------------------|----------------------------------|-----|----|
| <input type="checkbox"/> | ROOF | YES | NO |
| | <input type="checkbox"/> Truss | | |
| | <input type="checkbox"/> I-Joist | | |
| <input type="checkbox"/> | FLOOR | YES | NO |
| | <input type="checkbox"/> Truss | | |
| | <input type="checkbox"/> I-Joist | | |

Subdivision: _____

Location Address: _____

Township: _____

Lake County, Indiana

Contractor: _____

Signature

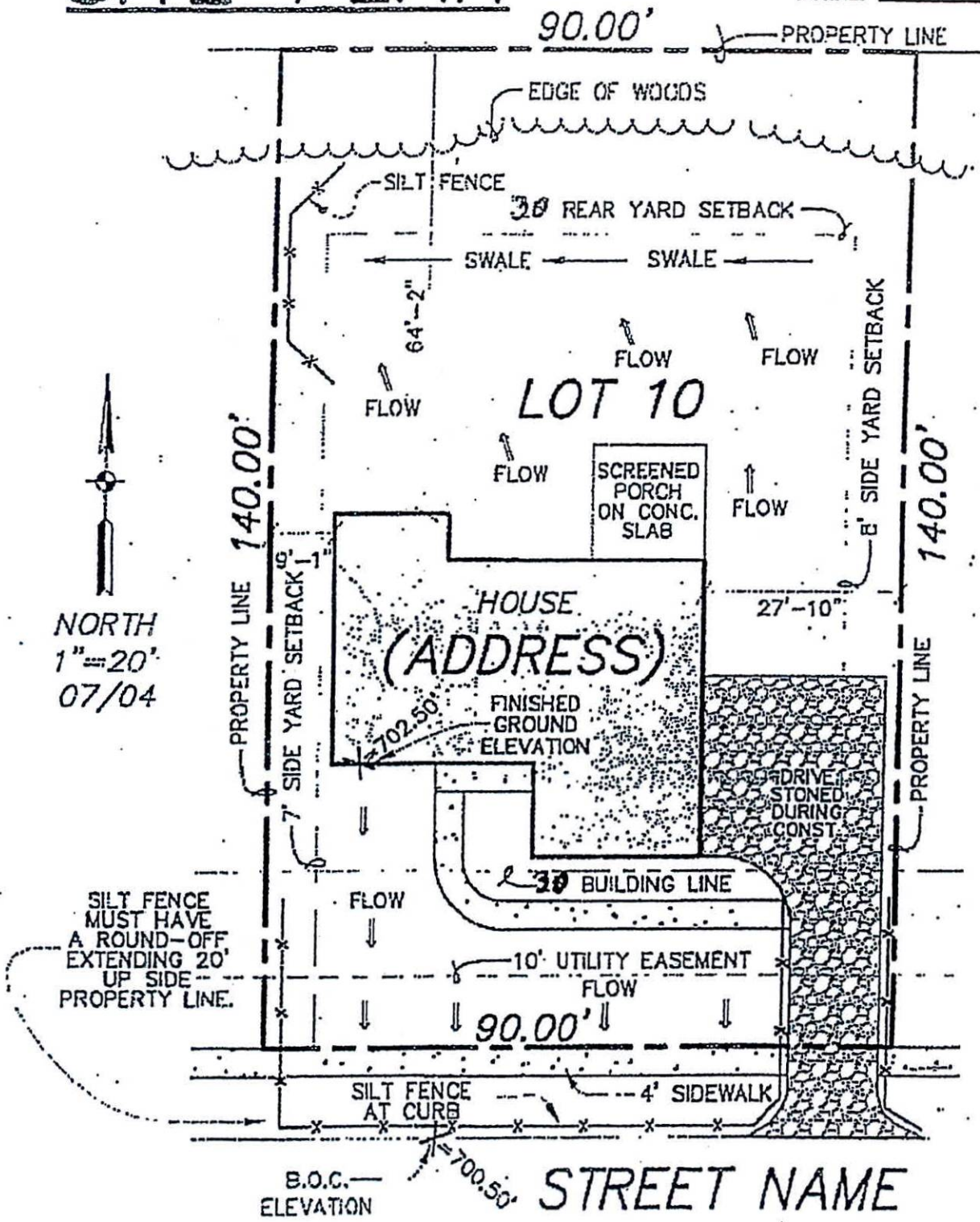
Date

Printed Name

This form will be uploaded to the Schererville Emergency Dispatch Departments within the next 90 days as required by law. This information is used to protect first responders where the potential of compromised structural integrity is potentially present.

SITE PLAN

REVIEWED AND APPROVED AS NOTED
 DATE: _____
 INITIAL: _____



NOTE: FINISHED GRADING SHALL CONFORM TO APPROVED SUBDIVISION CONSTRUCTION DRAWING.

NOTE: CONTRACTOR SHALL INSPECT SILT FENCE TWICE A WEEK AND AFTER EVERY STORM EVENT, REPAIRING SILT FENCE AND REMOVING SEDIMENT AS NEEDED.

NOTE: FINISHED GROUND ELEVATION AT STRUCTURE SHALL BE NO LESS THAN 18" ABOVE TOP OF CURB ELEVATION ON STREET SIDE.

ATTENTION BUILDERS AND PLUMBERS

WATER & METERS:

1" LINE MAY BE REDUCED TO ¾" AT METER. WATER MAY BE SHELVED 18" ABOVE SANITARY SEWER LINE OR MUST BE SEPARATED 10' AT SAME LEVEL.

COMPRESSION FITTINGS (FLARED MAY BE USED, BUT NOT RECOMMENDED)

ALL WATER LINES FROM B-BOX TO HOUSE MUST BE COVERED IN SAND OR CLAY.

B-BOXES SHALL NOT BE PLACED IN SIDEWALKS, DRIVEWAYS OR OTHER PAVED AREAS. THEY SHALL BE MAINTAINED AT GROUND LEVEL. WHEN SODDING OR LANDSCAPING, MAKE SURE B-BOX AND ANY OTHER UTILITIES (VALVES, MANHOLES, ETC.) ARE EXPOSED AT GROUND LEVEL. ANY DEVIATION FROM THESE REQUIREMENTS OR DAMAGE TO ANY UTILITIES SHALL BE AT THE BUILDER/OWNER EXPENSE.

ALL EFFORT SHALL BE MADE TO AVOID LOCATING MANHOLES OR VALVE BOXES IN PAVED AREAS. HOWEVER, CERTAIN CIRCUMSTANCES MAY REQUIRE STRUCTURES IN PAVED AREAS. IN SUCH INSTANCES, THE BUILDER/OWNER WILL NEED THE APPROVAL OF THE PUBLIC WORKS DEPARTMENT PRIOR TO SURFACING OF THE AREA IN QUESTION. ALL MANHOLES AND VALVE BOXES SHALL BE LOCATED ON THE PLAT OF SURVEY BEFORE OBTAINING BUILDING PERMITS.

WATER TAPPING PERMIT MUST BE TAKEN TO THE PUBLIC WORKS DEPARTMENT IN ORDER TO PICK UP SPACER BAR WITH BACKFLOW PREVENTOR.

- METERS SHALL NOT BE LOCATED IN CRAWL SPACES.
- INSTALLATION MUST BE IN AN ACCESSIBLE AREA.
- CONSTRUCTION WATER IS FOR CONSTRUCTION PURPOSES ONLY. IT SHALL NOT BE USED FOR WATERING SOD OR LANDSCAPING.

EFFECTIVE 8-14-14

WATER METERS WILL NOW BE INSTALLED WHEN THE ROUGH PLUMBING INSPECTIONS ARE REQUESTED. BUILDERS WILL BE RESPONSIBLE FOR THE METERS, I.E. FREEZING, THEFT, DAMAGE, ETC. ALSO, WATER BILLING WILL START IN THE BUILDER'S NAME AT THE TIME OF INSTALLATION.

SPECIFICATIONS FOR HOUSE UTILITY SERVICE

WATER:

1" LINE – MAY BE REDUCED TO ¾" AT METER. WATER MAY BE SHELVED 18" ABOVE SANITARY SEWER LINE OR MUST BE SEPARATED 10' AT SAME LEVEL.

SANITARY:

4" OR 6" THROUGH WALL

IF USING 4" – SDR 26 WITH TRACER WIRE – 12 GAUGE SINGLE STRAND IS REQUIRED.

IF USING 6" – SDR 35 WITH TRACER WIRE – 12 GAUGE SINGLE STRAND IS REQUIRED.

CLEAN OUT – OUT SIDE OF HOUSE

4" PIPE GOING THROUGH WALL MUST BE SDR 40 AND MUST GO AT LEAST 12" SLEEVED THROUGH THE 6" PVC SDR 35 OUTSIDE THE WALL.

PIPE MUST BE EMBEDDED IN ¾ STONE.

STORM:

4" SDR 35 WITH TRACER WIRE – 12 GAUGE SINGLE STRAND PIPE MUST BE EMBEDDED IN STONE (PREFER ¾ STONE)

NO GLUE FITTINGS ON STORM OR SANITARY LINES – MUST BE GASKET FITTINGS

WATER AND STORM LINES MAY BE IN SAME DITCH

EFFECTIVE 8-14-14

Water meters will now be installed when rough plumbing inspections are requested. Builders will be responsible for the meters, i.e. freezing, theft, damage, etc. Also, water bills will start in the builder's name at the time of installation.



For immediate release

Gov. Holcomb signs 2020 Indiana Residential Building Code

New requirements increase residential safety and peace of mind for all Hoosiers

STATEWIDE – Hoosier homes built under the new 2020 Indiana Residential Code will not only be safer for residents, but also firefighting personnel, according to Shad Paul, incoming president of the Indiana Association of Building Officials (IABO).

The new building code, signed by Indiana Governor Eric Holcomb on November 26th, is based on the 2018 ICC International Residential Code along with Indiana amendments features substantial safety upgrades.

“One of the requirements reduces the threat of injury from deadly carbon monoxide poisoning through the requirement for installed alarms designed to detect levels of the gas well below levels that threaten health,” says Craig Wagner, IABO Board of Directors and Code Committee member. IABO’s Code Committee members worked diligently with Indiana Builders Association, builders, architects, fire services and others to bring this new updated code to Indiana.

Other key changes include:

- A requirement that basements have an escape and rescue opening, making basements safer for residents and firefighting personnel.
- A more robust garage separation
- Up-to-date seismic design categories
- New solar installation information

IABO’s education training events in 2020 will cover the 2018 International Residential Code along with the Indiana Amendments. Education classes will be taught by International Code Council (ICC) instructors and they will implement all Indiana amendments into the classes.

“The new codes are effective December 26, 2019,” says Wagner, “and we are excited to introduce the various building measures that will increase residential safety and protect families’ investments in Indiana.”

Education opportunities and additional information regarding the new code and local district directors can be found online at www.iabo.com and social media: IABOforaSaferIN.

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Press Contact:

Kerri Martin, Red Door Marketing

kmartin@openthereddoor.com | 574-952-3376

www.openthereddoor.com



DIVISIONS OF:
WATER/SEWER
STREETS
STORMWATER MANAGEMENT

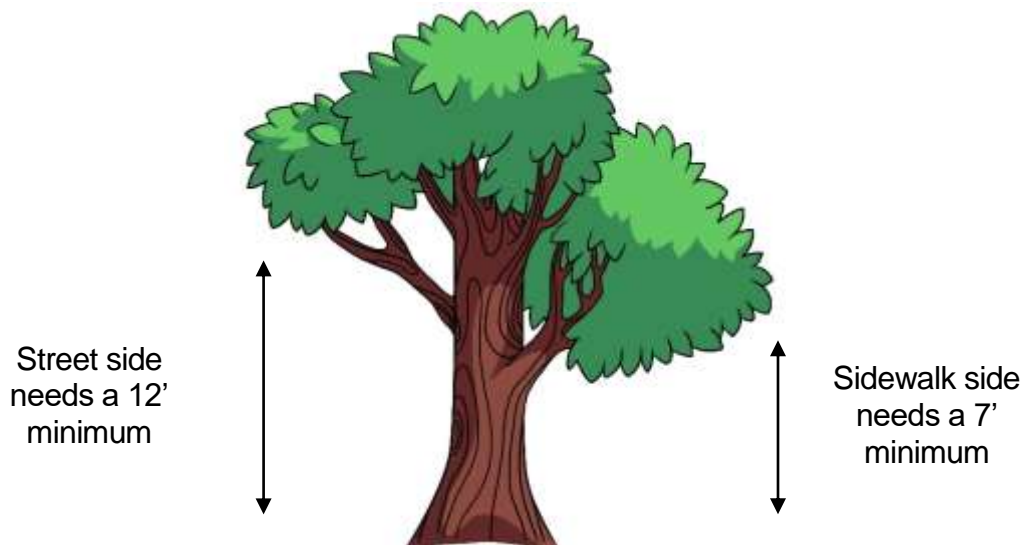
10 EAST JOLIET STREET • SCHERERVILLE, IN 46375
PHONE: (219) 322-6688
PHONE: (219) 322-5486
FAX: (219) 864-1628
WWW.SCHERERVILLE.ORG

LANDSCAPING AND TREES IN THE PARKWAY

Town of Schererville Ordinance Number 1797, Title XVIII, regulates the maintenance and types of bushes, trees and landscaping that homeowners may have placed along the street right-of-way or in the parkway between the streets and sidewalks. These restrictions are intended to allow for free access to pedestrian and vehicle traffic using these public corridors. It is the homeowners' responsibility to maintain these items in a manner consistent with the provisions of the Ordinance. These regulations are summarized as follows:

1. On the sidewalk side, any tree or bush overhanging the sidewalk must be kept trimmed to a height of No less than seven (7) feet above the walkway.
2. On the street side, any tree or bush overhanging the street must be kept trimmed to a height of no less than twelve (12) feet above the street.
3. All trees, bushes and other landscaping must be maintained in a manner to allow for an unobstructed view of any regulatory or informational sign posted along the roadway for traffic regulation purposes. More simply stated; traffic using the streets must be able to see SPEED LIMIT, STOP, and other traffic signs from a reasonable distance as they approach them.

Each year during the fall months, the Public Works Department attempts to inspect and trim branches and bushes not in compliance with Town Ordinance. Our goal is to minimize damage to our snow removal equipment and vehicles, as well as the trucks that pick up trash from your residence year round. Quite often, homeowners have their own ideas as to how they would like their trees trimmed and are not pleased with the finished job when they are left to the Public Works Department. Keeping these items trimmed in compliance with the Ordinance will prevent this type of situation.





TOWN OF SCHERERVILLE

PUBLIC WORKS DEPARTMENT

DIVISIONS OF:
WATER/SEWER
STREETS
STORMWATER MANAGEMENT

10 EAST JOLIET STREET • SCHERERVILLE, IN 46375
PHONE: (219) 322-6688
PHONE: (219) 322-5486
FAX: (219) 864-1628
WWW.SCHERERVILLE.ORG

TREE LIST FOR PARKWAY PLANTINGS

Indiana 811 is a private, nonprofit, statewide organization which has the responsibility to manage the “**call before you dig**” process for Indiana. It is your responsibility to make sure that you and/or your landscaper make this call to locate all utilities and sewers at the digging site **at least two full working days before you dig**. Visit www.811NOW.com or call **811** to schedule a locate of your digging project.

Below is a list of trees suggested for planting in the parkway, **however if sewers are located in your parkway, we would advise against planting at that site**. These trees were selected for placement along the road because they are less likely to destroy sidewalks or asphalt with shallow root systems, but even these root systems eventually will grow into and cause backups in nearby sewers. Also, to help ensure a healthy tree, **planting in parkways narrower than 6' wide is not recommended** and **trees planted under power lines must have maximum height at maturity of less than 25'**.

Most of these trees have crowns around 20' wide at maturity, helping to prevent overhang into the street and damage to large vehicles, such as snow plows and garbage trucks. They have also shown some tolerance to road salt. *Pyrus calleryana*, commonly known as Bradford or Cleveland Pear is **not** on this list. It is now considered an invasive species and no longer acceptable as a landscape tree.

FLOWERING TREES

- ***Amelanchier canadensis*: Serviceberry 20'H x 20'W
- ***Cornus kousa*: Flowering dogwood 20'H x 15-20'W
- ***Crataegus crusgalli* var. *inermis*: Hawthorn 'Thornless Cockspur' 20'H x 20'W
- ****Malus*: Flowering crabapple 10-20'H x 8-20'W
- Syringa reticulata*: Japanese tree lilac 'Ivory Silk' or 'China Snow' 20'H x 15-20'W

NON-FLOWERING TREES

- ***Acer griseum*: Paperbark maple 20-30'H x 15-25'W
- **Ginkgo* 'Princeton Sentry': 30-40'H x 15-20'W
- **Nyssa sylvatica*: Sour gum, Black gum or Tupelo 30-50'H x 20-30'W
- **Nyssa sylvatica* 'David Odom': Afterburner Tupelo 35'H x 20'W
- **Ulmus davidiana* var. *japonica* 'JFS-Bieberich': Emerald Sunshine Elm 35'H x 25'W
- **Ulmus* 'New Horizon: New Horizon Elm 40'H x 15-25'W
- **Ulmus davidiana* var. *japonica* 'Prospector': Prospector Elm 40-50'H x 25'W

* **Do not plant under power lines.**

** **Look for single trunk rather than multi-trunk specimens.**

*** **Narrow crown cultivars are available.**